

THE BOTTLE FACTORY

**Light industrial, office
and studio spaces**

12 Ossory Road, SE1 5AN

Fabrix

51.517947 -0.134859

THE BOTTLE FACTORY

A new creative community



Artists, creators, distillers, designers, filmmakers, roasters, directors, manufacturers, photographers, coders, makers, fashionistas, movers, shakers...make good things happen at The Bottle Factory.



for SE1



A 126-year-old Victorian bottling factory brought back to life for a new vibrant community

Originally built in 1895 and occupied by the famous J Mills & Sons company, The Bottle Factory is a unique, historic and inspiring environment with architectural prowess connected to its industrial past.

With voluminous floors, the building is an ideal headquarters for occupiers with production and workplace requirements with plenty of outdoor space. We are bringing a community of makers, creatives, and urban industry businesses back to the buildings, honouring the site's industrial heritage.

Claim your space alongside London's oldest family-run gin distillery and a sustainable coffee roastery, plus a whole host of other creatives who have already made The Bottle Factory their home.

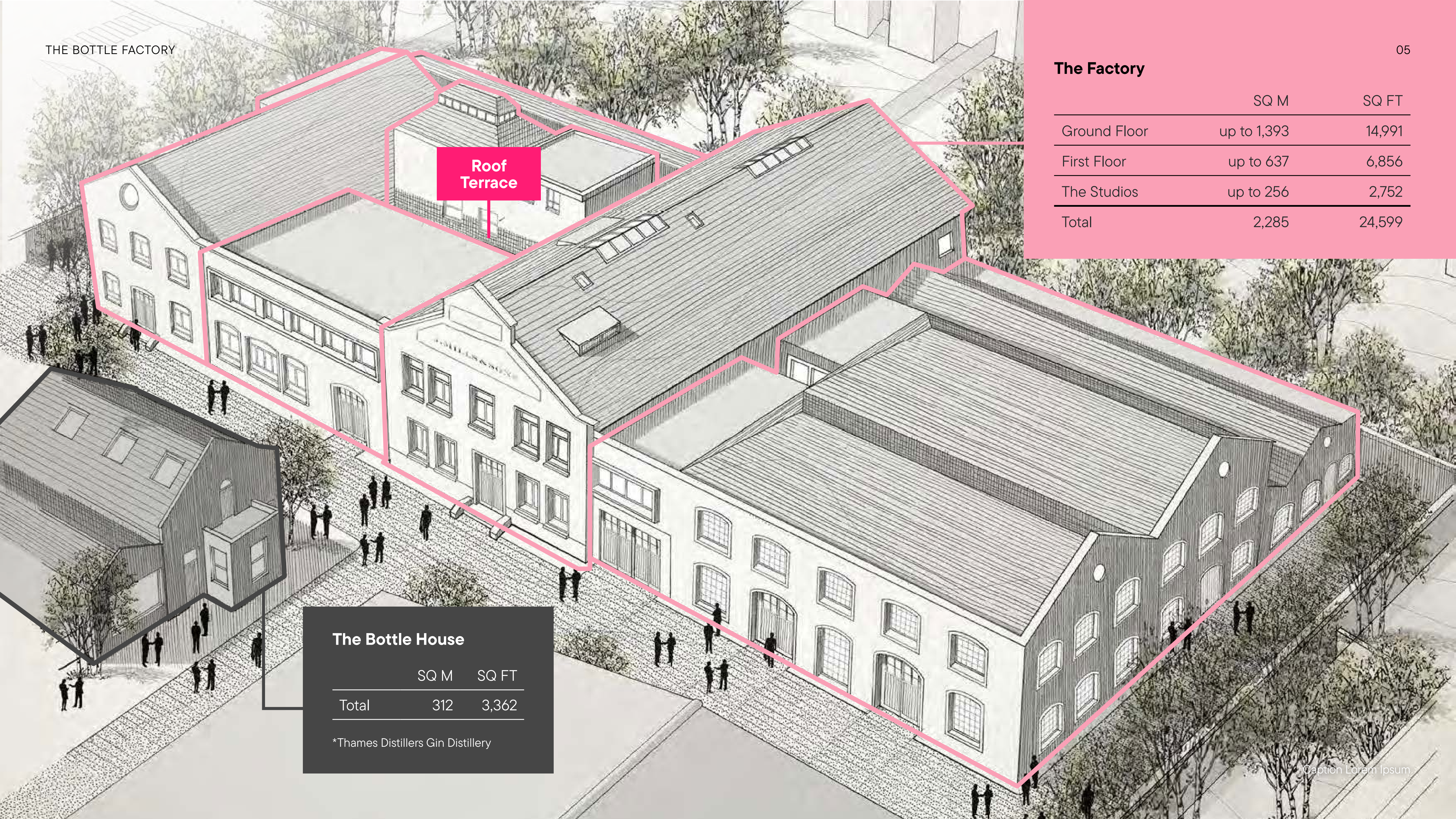


A stunning restoration has created workspaces that preserve the industrial charm and inspire a creative spirit.

Exposed brick and original flooring are illuminated by floods of natural light creating a unique working environment that people want to be in.

The vast floorplans allow for fit-out flexibility and with adaptable use in mind, the building is ready to welcome any business with workspace, studio space or light industrial needs.

**Overflowing
with character**



Roof
Terrace

The Factory

	SQ M	SQ FT
Ground Floor	up to 1,393	14,991
First Floor	up to 637	6,856
The Studios	up to 256	2,752
Total	2,285	24,599

The Bottle House

	SQ M	SQ FT
Total	312	3,362

*Thames Distillers Gin Distillery

The Factory – Ground Floor

Ideal for light industrial, office and showrooms



		SQ M	SQ FT	COST P/SQ FT
Unit 1	Let	279	3,003	–
Unit 2	Let	208	2,238	–
Ancillary	Let	59	632	–
Unit 3a	Let	207	2,224	–
Unit 3b	Let	109	1,178	–
Unit 4	Available	320	3,444	£25
Unit 5	Available	214	2,303	£25
Total Available		534	5,747	



Exposed
brickwork



Ceiling heights
up to 5m



A minimum double
door entrance to all
ground floor units



Original steel
support beams



Modern WCs
and Showers



Openable
windows



Roller shutter
security



3 phase
power

THE BOTTLE FACTORY



Unit 5 | 2,303 sq ft | Ground Floor



Unit 4 | 3,444 sq ft | Ground Floor –
double-door entrances from service yard



Unit 4 | 3,444 sq ft | Ground Floor

The Factory – First Floor

Ideal for Maker space, office and showrooms

		SQ M	SQ FT	COST P/SQ FT
Unit 8	Available	337	3,622	£19.50
Unit 9	Let	164	1,763	–
Unit 10	Let	137	1,471	–
Total Available		337	3,622	



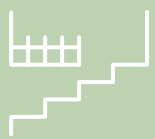
Natural daylight throughout



Openable windows



Ceiling heights up to 5m



Options for mezzanine



Shared roof terrace



Air conditioning



Shared kitchenette facilities



Modern WCs and showers

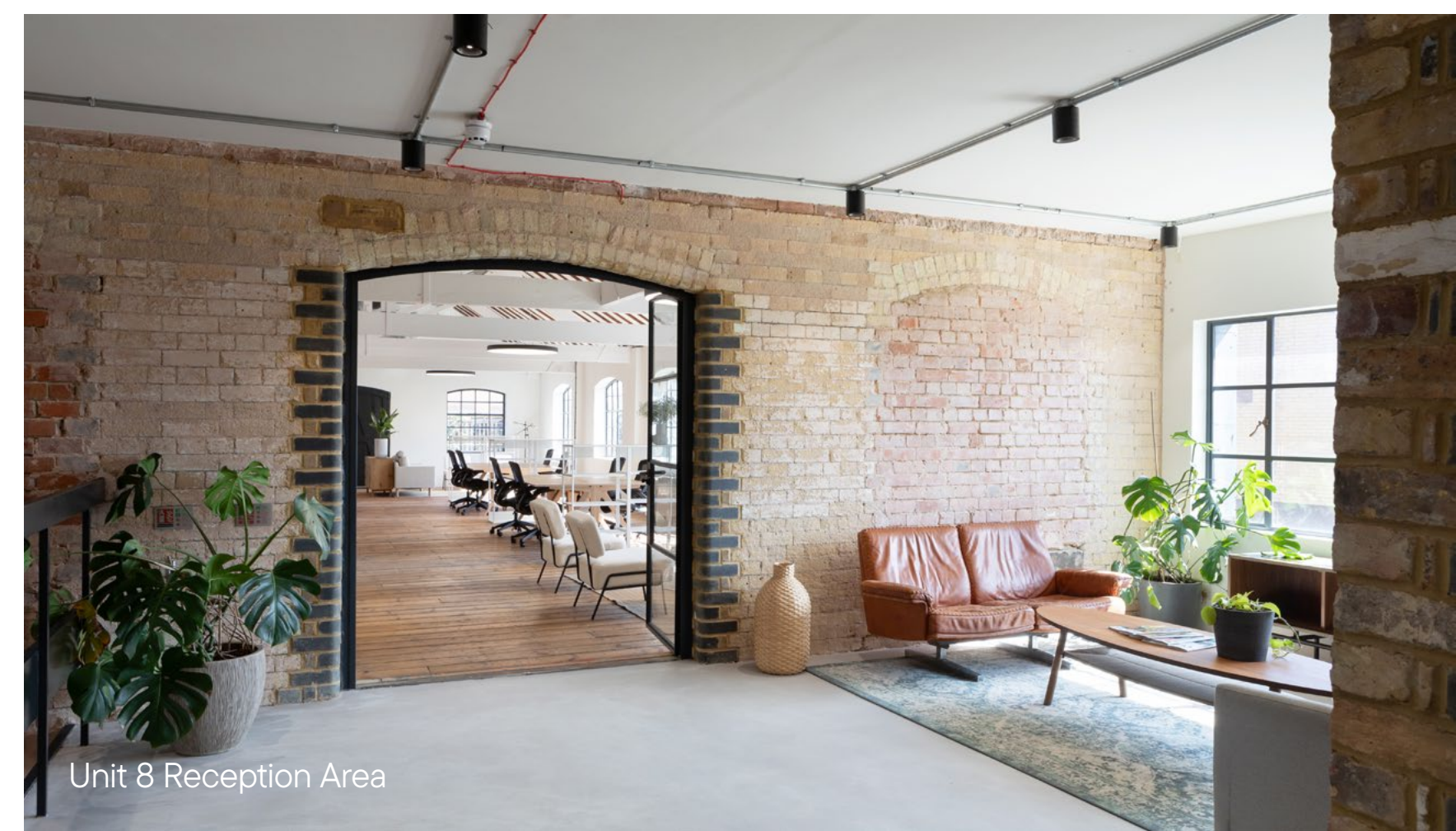
THE BOTTLE FACTORY



Unit 8 | 3,622 sq ft | First Floor



Unit 8 | 3,622 sq ft | First Floor



Unit 8 Reception Area

The Factory
First floor and loft – The Studios

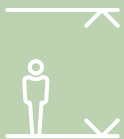
		SQ M	SQ FT
Studio 1	Available	18	193
Studio 2	Let	13	139
Studio 3	Let	15	161
Studio 4	Let	18	193
Studio 5	Let	14	150
Studio 6	Let	39	419
Studio 7	Let	31	333
Studio 8	Let	31	333
Studio 9	Let	22	236
Studio 10	Let	29	312
Studio 11	Let	26	283
Total Available		18	193



Natural daylight throughout



Openable windows



Ceiling heights up to 5m



Air conditioning



Shared roof terrace



Wi-Fi included



All inclusive rent

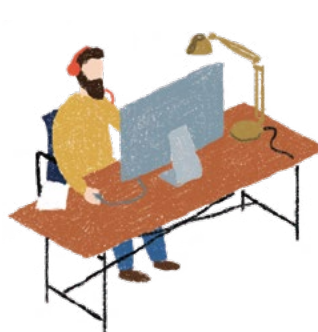


Short-form licence



Flexible term from 6 months

THE BOTTLE FACTORY



Roof Terrace



Reception | Ground Floor

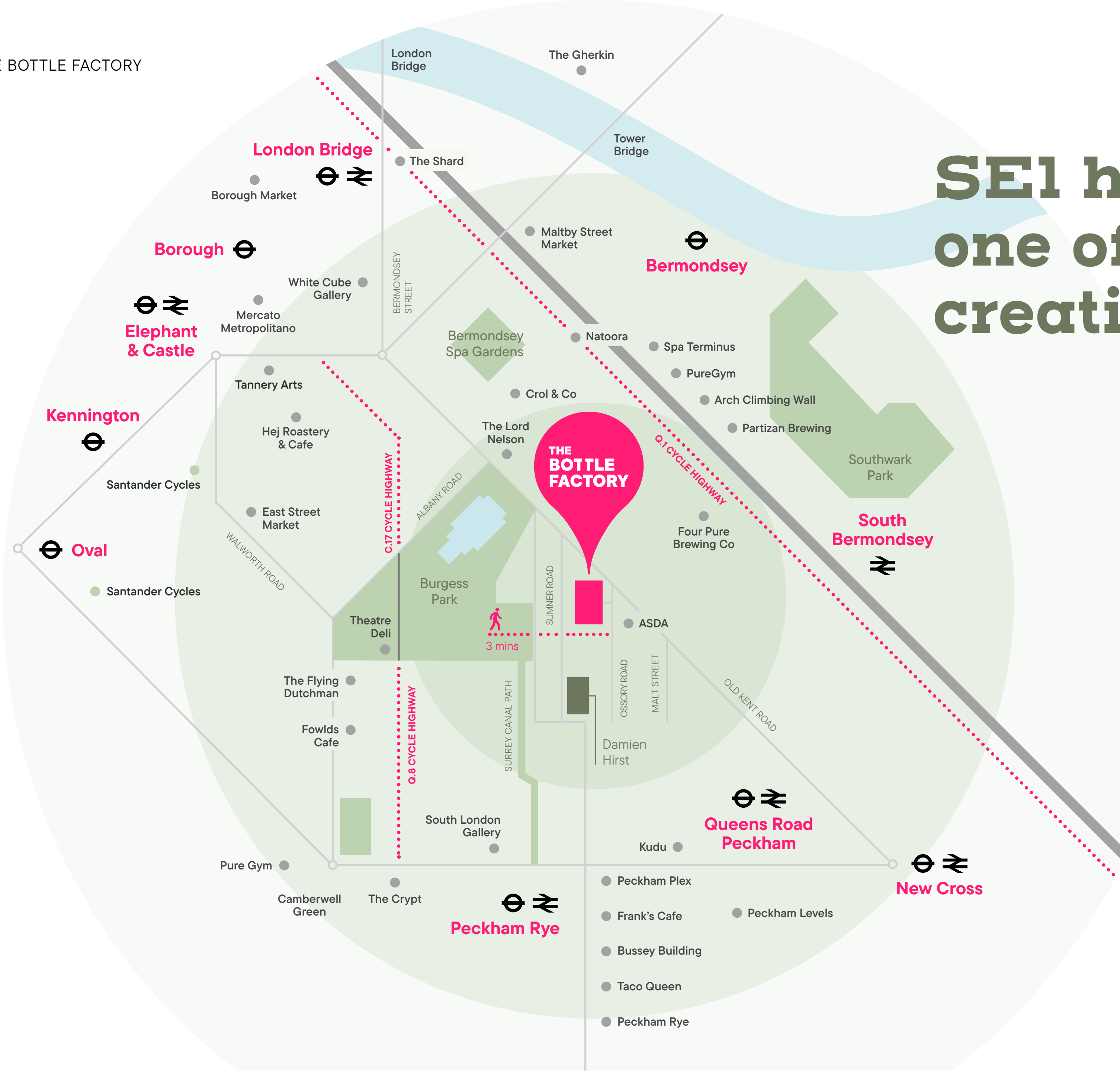


Studios Kitchen



Studio 1 | 193 sq ft | First Floor

SE1 has grown into one of London's most creative neighbourhoods



The Bottle Factory sits between well-connected tube and rail stations, bus routes and cycle highways. Located just off Old Kent Road with Peckham, Bermondsey, New Cross and Elephant & Castle all a short journey away. You can catch a breath of fresh air in the nearby Burgess Park, just a 3-minute walk away.



Q1. Cycle Highway

Southbank > Greenwich Park



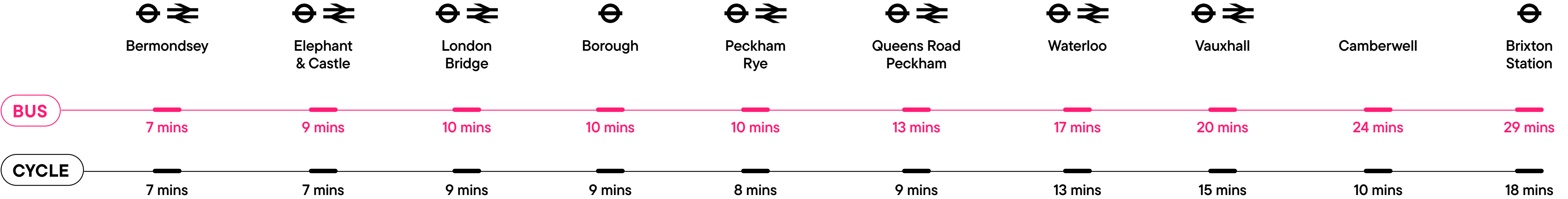
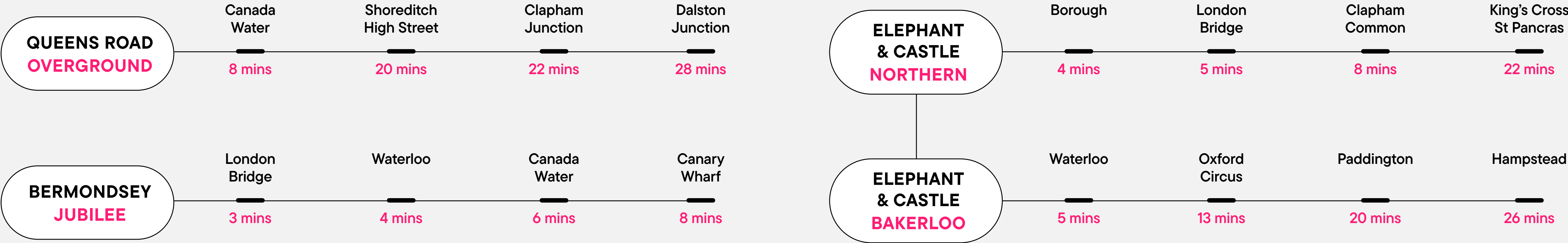
Q8. Cycle Highway

King's College Hospital > Burgess Park

Q8. Cycle Highway

Burgess Park > Elephant & Castle > Q1 Interchange

Connected to London's most desirable locations



Timings taken from Google Maps from The Bottle Factory.

THE BOTTLE FACTORY

Be a part of the Bottle creative community and make good things happen

A brilliant mix of creatives, makers and urban industry stalwarts have already made The Bottle Factory their own.

From London's oldest gin distillery, supplying their world-class London gins to global brands. The UK's first all-electric, zero-emission coffee roastery. To the London showroom of the leading dealer of Brazilian modern and contemporary furniture.

Our studios are alive, with producers, photographers, designers and marketers. The Bottle Factory is buzzing with craft, creativity, manufacture and enterprise.

Come and take your place.



Some of our community:



THE BOTTLE FACTORY



Subject to contract. Levy Real Estate and Union Street Partners for themselves and the vendor of this property give notice that these particulars do not form, or form part of, any offer or contract. They are intended to give fair description of the property and whilst every effort has been made to ensure their accuracy this cannot be guaranteed. Any intending purchaser must therefore satisfy themselves by inspection or otherwise. Levy Real Estate and Union Street Partners, nor any of its employees, has any authority to make or give any further representations or warranty whatsoever in relation to this property. September 2025. S013016.



Calum Holden

T. +44 (0)20 7747 0090
M. +44 (0)7508 610 454
E. calum.holden@levyrealestate.co.uk

Rob Watts

T. +44 (0)20 7747 0152
M. +44 (0)7506 441 644
E. rob.watts@levyrealestate.co.uk

Megan Carr

T. +44 (0)20 7747 0143
M. +44 (0)7896 899 798
E. megan.carr@levyrealestate.co.uk

Catch up on the latest here
[@thebottlefactory](#)

[thebottlefactory.london](#)



Vincent Cheung

T. +44 (0)20 3757 8571
M. +44 (0)7736 880 310
E. vince@usp.london

Alex Jackson

T. +44 (0)20 3757 8564
M. +44 (0)7562 649 126
E. alexj@usp.london

Fabrix

51.517947 -0.134859